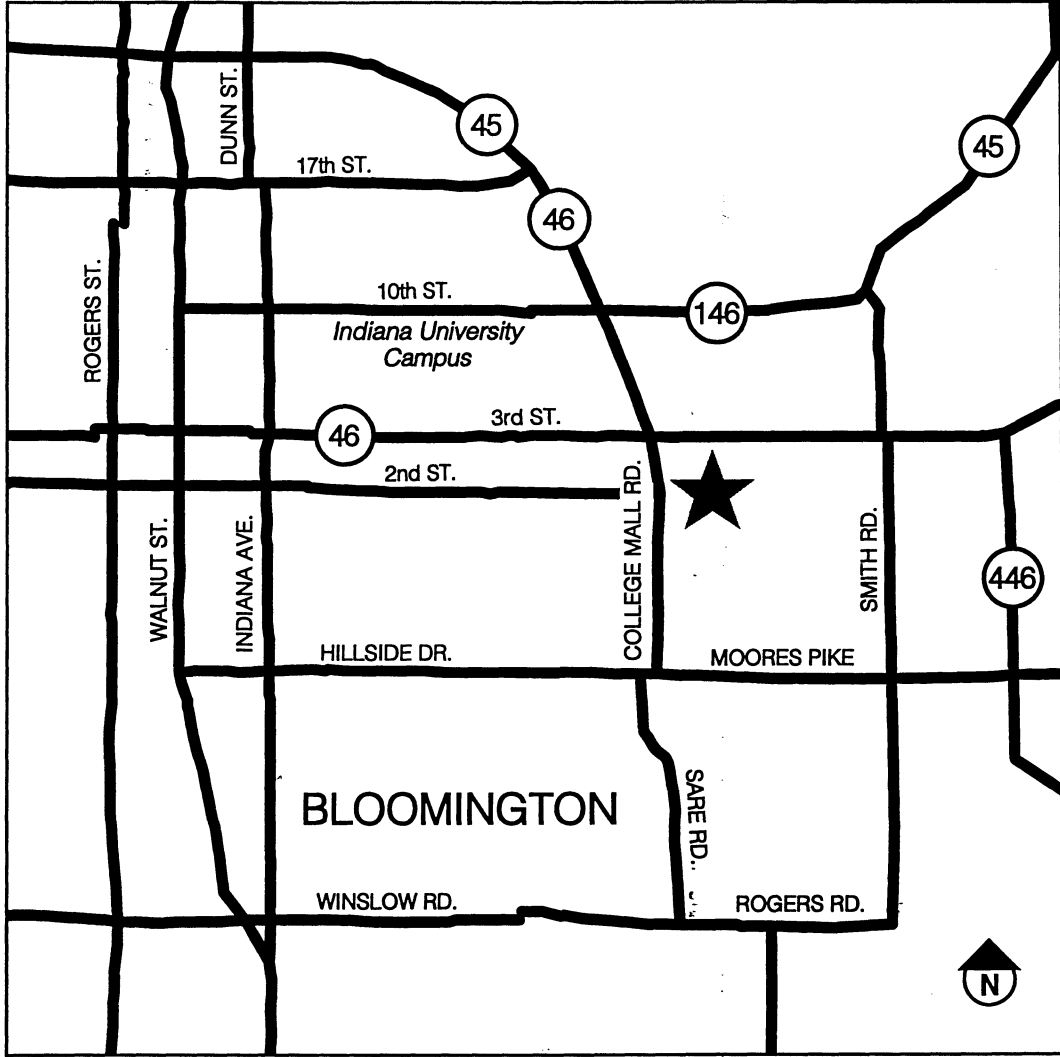
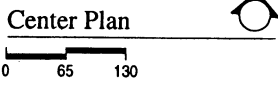
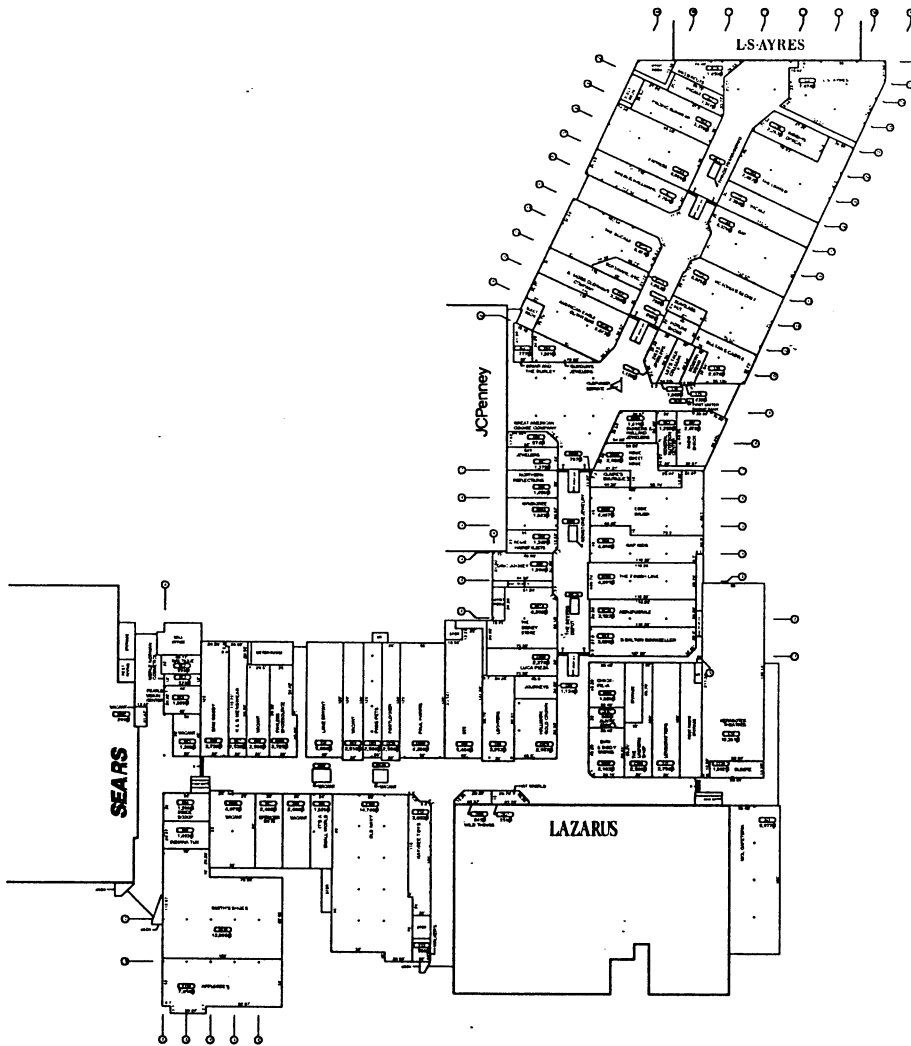


# MAP



COLLEGE MALL, Bloomington, IN

# MALL PLAN



**PROJECT DATA**

LAZARUS	58,812
L.S. AYRES	78,592
SEARS	112,260
JCPENNEY	108,216
<b>TOTAL DEPARTMENT STORE GLA</b>	<b>357,880</b>
<b>TOTAL SMALL SHOPS GLA</b>	<b>256,729</b>
<b>TOTAL GLA</b>	<b>614,609</b>

College Mall  
 2894 E. Third St. PO Box 5068  
 Bloomington, IN 47407  
 CORP # 0540

**SIMON**  
 PROPERTY GROUP

## PROJECT ADDRESS

Corporate #: 0540

### College Mall

2894 E. Third Street

P.O. Box 5068

Bloomington, IN 47407

Telephone: 812/339-9370

Fax: 812/339-3374

## LANDLORD'S ADDRESS

Simon Property Group

National City Center

115 West Washington Street

Indianapolis, IN 46204-3464

or

P.O. Box 7033

Indianapolis, IN 46207-7033

## Tenant Coordination Department

Telephone: 317/636-1600

Fax: 317/685-7222

Internet Address: [Tenantcoor@simon.com](mailto:Tenantcoor@simon.com)

## Leasing Department:

Telephone: 317/636-1600

**Project Resources**

**Building Permits**

Monroe County Code Enforcement

Telephone: 812/349-2580

**Fire Department**

Bloomington Fire Department

Telephone: 812/332-9763

**Health Department**

Monroe County Health Department

Telephone: 812/349-2543

**Sprinkler Plan Review & Inspection**

Factory Mutual File #: 55618.34

Factory Mutual Engineering Association

25050 Great Northern Corporate Ctr.

Suite 300

North Olmstead, OH 44070-5319

Telephone: 216/362-4820

**Water Service**

City of Bloomington Utilities

Telephone: 812/339-1444

**Electric Service**

Cinergy/PSI

Telephone: 800/343-3525

**Gas Service**

Indiana Gas

Telephone: 800/777-2060

**Sewer Maintenance**

City of Bloomington Utilities

Telephone: 812/339-1444

**Telephone Service**

Ameritech

Telephone: 800/727-2273

**Landlord Designated Contractors**

**Roof Contractor**

General Roofing Services

Telephone: 407/695-6706

Varsity Contractors

Telephone: 812/339-8994

**Trash Removal Contractor**

BFI

Telephone: 800/240-2187

**Sprinkler Contractor**

Varsity Contractors

Telephone: 812/339-8994

**Fire Alarm Contractor**

Honeywell

Telephone: 800/622-4010

**Note: Verify Landlord Designated Contractors with Mall Management.**

**Potential Tenant Work Contractors**

**Madesin General Contractors LTD.**

1120 Eglinton Avenue E.  
Mississauga, Ontario L4W 1K5

Telephone: 905/625-3617

Fax: 905/625-1975

# ELECTRICAL SUMMARY

<b>Electrical System Type</b>	Expansion – Tenant shall connect to the Landlord’s redistribution system. Original Side – Designated connection point in space. Contact utility for service.
<b>Service And Metering</b>	Expansion – 480/277 volt, 60 hz, 3 phase, 4 wire. Redistributed. Original Side – 208/120 volt, 60hz, 3 phase, 4 wire. Individually metered. Only one service per Tenant will be permitted. Required fuse furnished by Tenant.
<b>Maximum Service Sizes</b>	
<b>Retail</b>	8.3 volt-amps per square foot, 60 amp minimum
<b>Predesignated Restaurant</b>	28 volt-amps per square foot, 100 amp minimum
	1 ¼” minimum conduit size.
<b>Life Safety System</b>	Sprinkler system tied into Landlord’s alarm system. Horns and strobes for annunciation of general alarm by Tenant.
<b>Telecommunications</b>	Designated connection point; 1” conduit provided to all spaces.
<b>Emergency Power Source</b>	Tenant supplied.

# MECHANICAL SUMMARY

## Retail Tenants

<b>HVAC System Type</b>	Tenant specification downflow rooftop unit. Tenant specification downflow rooftop unit with electric heat (East Side – natural gas is not available). Tenant specification downflow rooftop unit with gas heat. <i>Application contingent upon utilities available in Tenant's area.</i> <i>Original Side – gas available. Expansion – gas not available.</i>
<b>Condensate Drain</b>	Terminate in Tenant sanitary within the Tenant space. Spilling condensate onto a splashblock is not acceptable.
<b>Outside / Relief Air</b>	Code minimum, economizer and barometric or fan powered relief through Tenant installed components.
<b>Return</b>	Plenum.
<b>Toilet Exhaust</b>	No Landlord provisions. By Tenant including fan, ductwork and roof cap (where required).
<b>Odor, Thermal &amp; Process Equipment Exhaust</b>	Size for application. Utilize exhaust only system up to 2500 SCFM.
<b>Exhaust Replacement Air</b>	Draw from mall Common Area for exhaust systems up to 2500 SCFM. Utilize dedicated makeup air units for larger exhaust capacities.
<b>Temperature Controls</b>	Standalone control system capable of interfacing with the Landlord energy management system. Tenant specification standalone control system. Automate equipment to provide continuous supply and exhaust fan operation during occupied hours. <i>Expansion – Tenant shall hook up to Landlord EMS.</i> <i>Original Side – Tenant shall operate independently.</i>
<b>Test &amp; Balance</b>	Tenant shall employ contractor to perform final testing and balancing.

# MECHANICAL SUMMARY

## Retail Tenants

<b>Plumbing</b>		Designated connection point adjacent to space.
	<b>Water</b>	Original Side – Tenant to contact utility for service. Expansion – Redistributed. ¾" valved connection. ¾" valved connection, Tenant supplied meter w/remote reader. (Original Side).
	<b>Waste</b>	4" wye connection.
	<b>Vent</b>	2" connection. Vent through roof by Tenant.
	<b>Grease Waste</b>	No Provisions.
	<b>Natural Gas</b>	Gas available in specified areas of mall. Fixture density shall be limited to two water closets, two lavatories, one urinal and two drinking fountains per 3000 sq. ft.
<b>Fire Protection</b>		Tenant shall directly employ the Landlord designated contractor to modify existing grid or utilize connection provided.
<b>Building Thermal Values</b>		Exterior wall $U = .33$ Roof $U = .1$ Glass $U$ value = 1.09 $sc = .8$



# MECHANICAL SUMMARY

## Food Service (Non-Food Court)

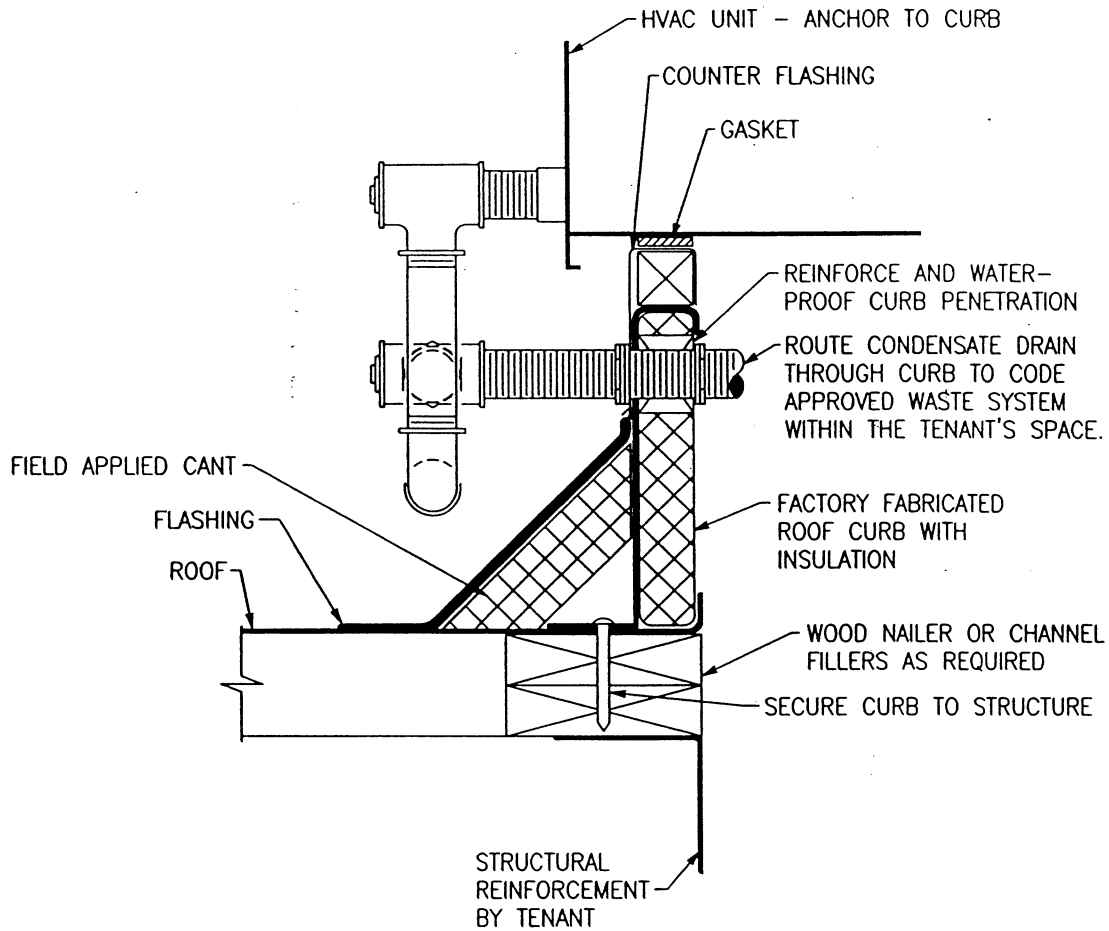
<b>HVAC System Type</b>	As dictated by Expansion or Original side of mall. Refer to Retail Tenants.
<b>Condensate Drain</b>	Terminate in Tenant sanitary within the Tenant space. Spilling condensate onto a splashblock is not acceptable.
<b>Outside Air</b>	Code minimum, economizer and barometric or fan powered relief through Tenant installed components.
<b>Return</b>	Ducted (no plenum allowed).
<b>Toilet Exhaust</b>	No Landlord provisions. By Tenant including fan, ductwork and roof cap (where required).
<b>Odor, Thermal &amp; Process Equipment Exhaust</b>	Size for application. Utilize exhaust only system up to 2500 SCFM.
<b>Exhaust Replacement Air</b>	Draw from mall Common Area for exhaust systems up to 2500 SCFM. From outside air and dedicated makeup air units for larger exhaust capacities.
<b>Temperature Controls</b>	Tenant specification standalone control system capable of interfacing with the Landlord energy management system. Tenant specification standalone control system. Automate equipment to provide continuous supply and exhaust fan operation during occupied hours.
<b>Plumbing</b>	Designated connection point adjacent to space.
<b>Water</b>	Original Side– Tenant to contact utility for service. Expansion – Redistributed. ¾" valved connection.
<b>Waste Vent</b>	¾" valved connection, Tenant supplied meter w/remote reader. (Original Side). 4" wye connection. 2" connection. Vent through roof by Tenant.
<b>Grease Waste</b>	By Tenant. Utilize above floor interceptors where possible. Review location of in-ground interceptors with the Landlord.
<b>Natural Gas</b>	Original Side– Available from utility at exterior meter bank. Expansion – Not available.
<b>Test &amp; Balance</b>	Tenant shall employ contractor to perform final testing and balancing.

# MECHANICAL SUMMARY

## Food Service (Non-Food Court)

<b>Building Thermal Value</b>	Exterior wall U = .33 Roof U = .1 Glass U value = 1.09 SC = .8
<b>Fire Protection</b>	Tenant shall directly employ the Landlord designated contractor to modify existing grid or utilize connection provided.

# DETAILS



## NOTES:

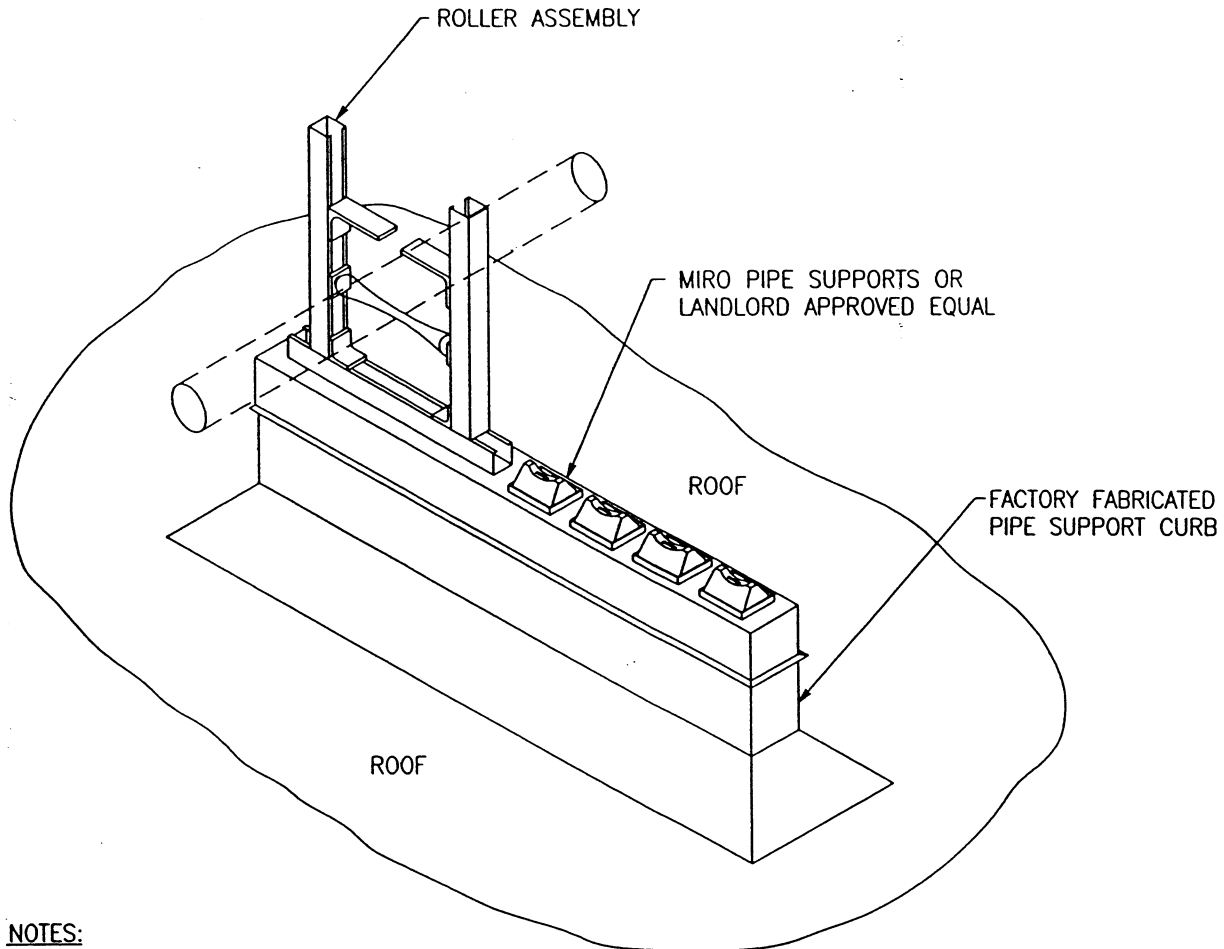
1. ADAPT DESIGN CONCEPTS IN THIS DETAIL TO THE SPECIFIC CONSTRUCTION ASSEMBLIES UTILIZED AT THIS PROJECT.
2. CURBS SHALL BE FACTORY FABRICATED WITH INSULATION AND EXTEND A MINIMUM OF 12" ABOVE THE HIGH POINT OF THE ROOF.
3. INSTALL ELECTRICAL CONDUIT SIMILAR TO CONDENSATE DRAIN.
4. ROOF EQUIPMENT CURBS MUST BE PROVIDED WITH PROPERLY DESIGNED FABRICATED LEVELING DEVICES, SO THE EQUIPMENT IS LEVEL AND CURB INSTALLATION MATCHES THE ROOF SLOPE.
5. PROVIDE STRUCTURAL REINFORCEMENT FOR EQUIPMENT SUPPORT AND DECK OPENING. MINIMUM SUPPORT SIZE SHALL BE 3"x3"x5/16".
6. CURB SHALL NOT REST ON ROOF INSULATION.
7. ALL ROOFING WORK SHALL BE PERFORMED BY THE LANDLORD DESIGNATED ROOFING CONTRACTOR.
8. RESLOPE ROOFING TO PROVIDE ADEQUATE DRAINAGE.

## FULL PERIMETER CURB DETAIL

DTL14.DWG

06/26/98

# DETAILS

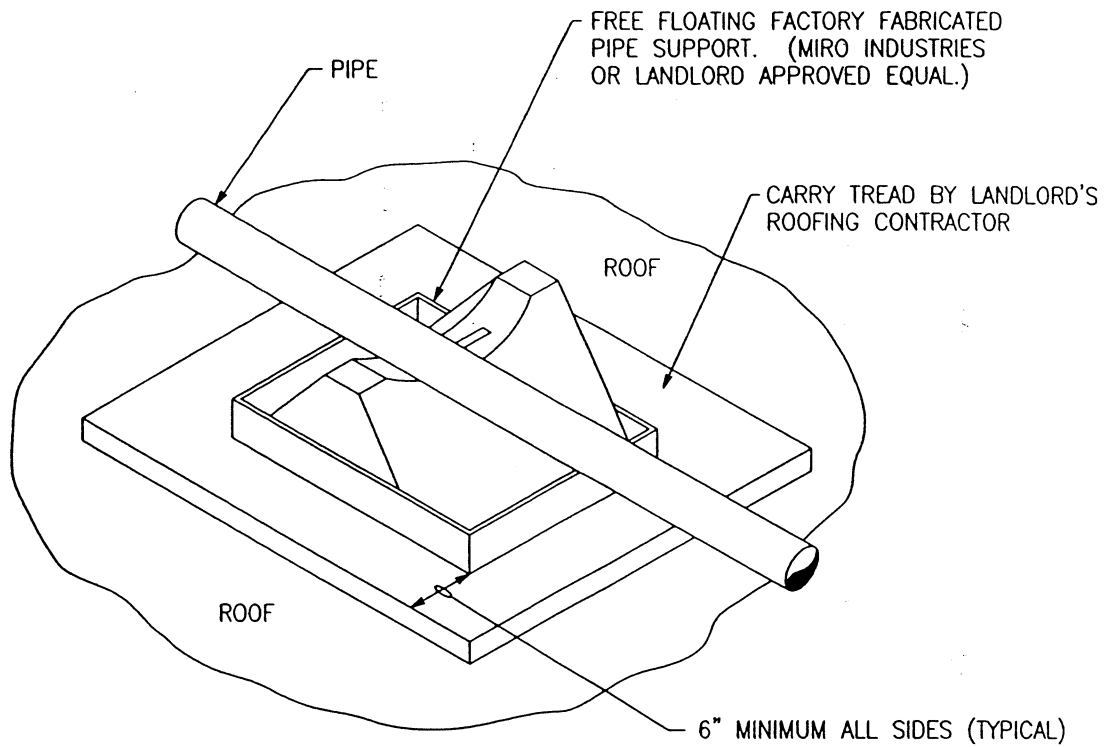


## NOTES:

1. ADAPT DESIGN CONCEPTS IN THIS DETAIL TO THE SPECIFIC CONSTRUCTION ASSEMBLIES UTILIZED AT THIS PROJECT.
2. CURBS SHALL BE FACTORY FABRICATED WITH INSULATION AND EXTEND A MINIMUM OF 12" ABOVE THE HIGH POINT OF THE ROOF.
3. ROOF EQUIPMENT CURBS MUST BE PROVIDED WITH PROPERLY DESIGNED FABRICATED LEVELING DEVICES, SO THE EQUIPMENT IS LEVEL AND CURB INSTALLATION MATCHES THE ROOF SLOPE.
4. PROVIDE STRUCTURAL REINFORCING WHERE REQUIRED TO ACCOMMODATE LOAD. (MINIMUM SUPPORT SIZE SHALL BE 3"x3"x5/16".)
5. CURB SHALL NOT REST ON ROOF INSULATION.
6. ALL ROOFING WORK SHALL BE PERFORMED BY THE LANDLORD DESIGNATED ROOFING CONTRACTOR.
7. RESLOPE ROOFING TO PROVIDE ADEQUATE DRAINAGE.

**PIPE ROLLER SUPPORT DETAIL**  
DTL33.DWG 06/26/98

# DETAILS



NOTES:

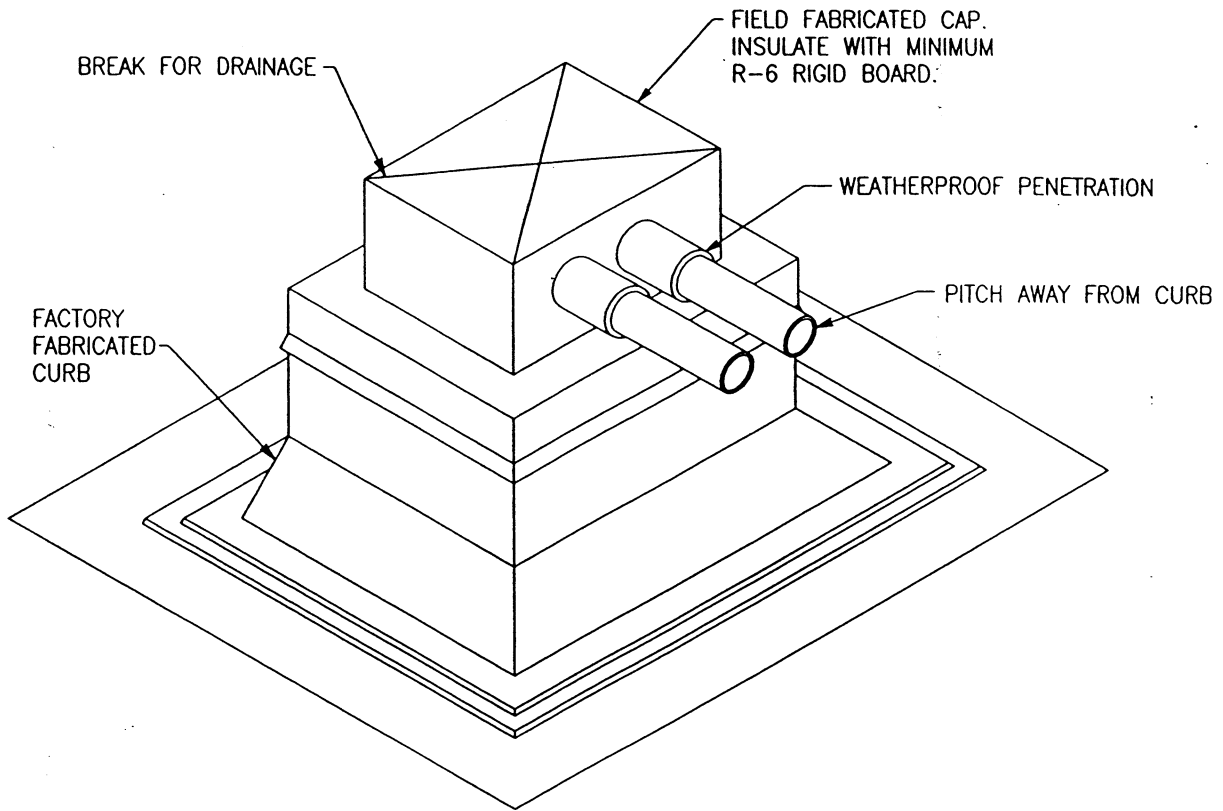
1. USE FACTORY FABRICATED PIPE SUPPORT AND ROLLER ASSEMBLY WHERE CODE WILL NOT PERMIT FREE FLOATING SUPPORTS.

## FREE FLOATING PIPE SUPPORT DETAIL

DTL32.DWG

06/26/98

# DETAILS

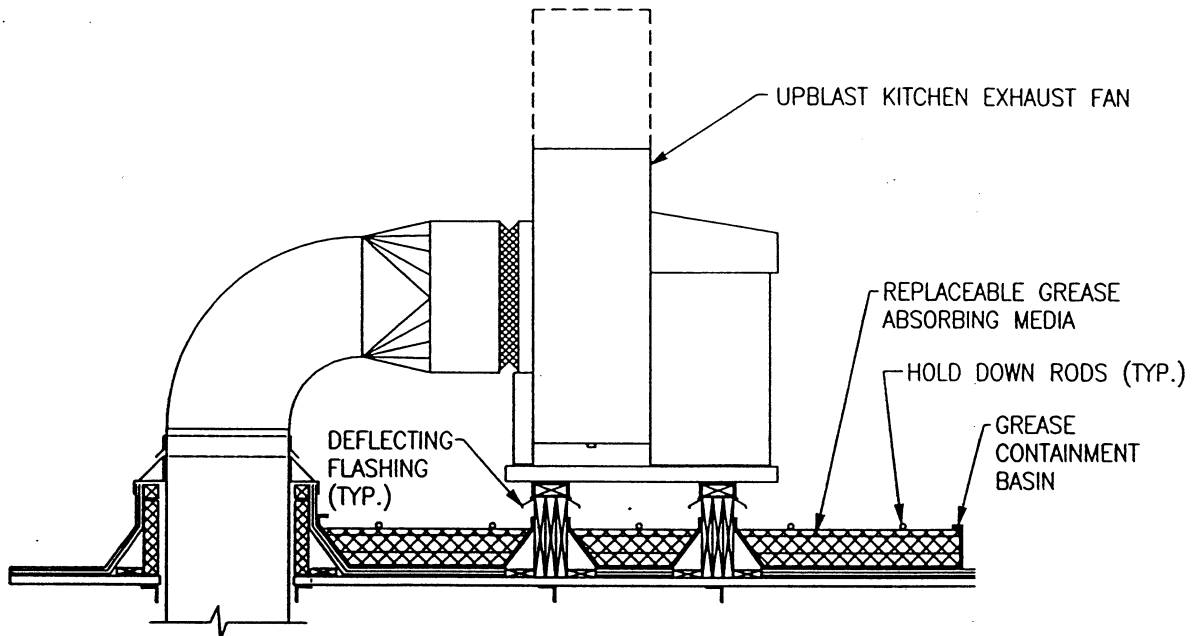
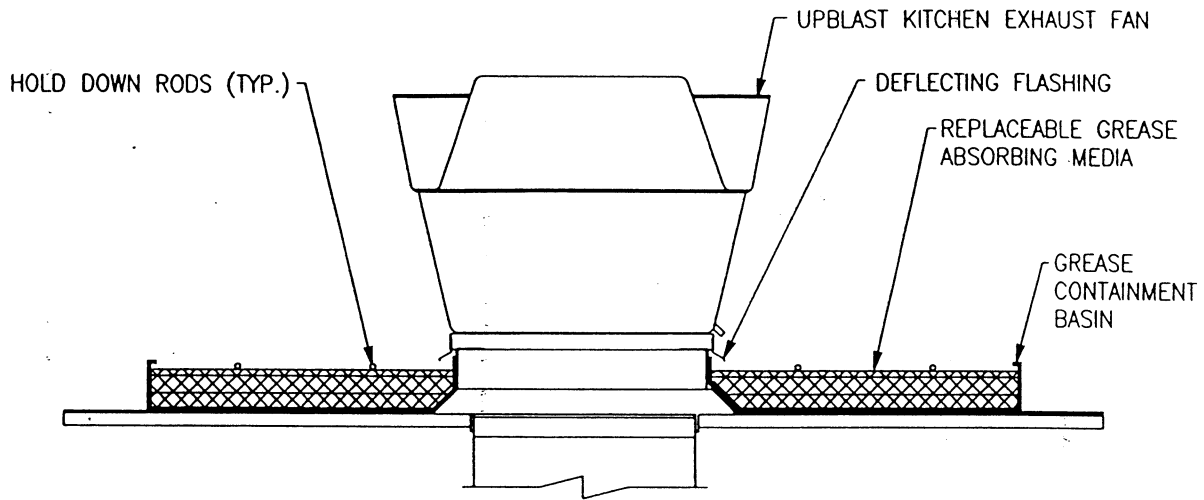


## NOTES:

1. ADAPT DESIGN CONCEPTS IN THIS DETAIL TO THE SPECIFIC CONSTRUCTION ASSEMBLIES UTILIZED AT THIS PROJECT.
2. CURBS SHALL BE FACTORY FABRICATED WITH INSULATION AND EXTEND A MINIMUM OF 12" ABOVE THE HIGH POINT OF THE ROOF.
3. ROOF EQUIPMENT CURBS MUST BE PROVIDED WITH PROPERLY DESIGNED FABRICATED LEVELING DEVICES, SO THE EQUIPMENT IS LEVEL AND CURB INSTALLATION MATCHES THE ROOF SLOPE.
4. PROVIDE STRUCTURAL REINFORCING WHERE REQUIRED TO ACCOMMODATE LOAD. (MINIMUM SUPPORT SIZE SHALL BE 3"X3"X5/16".)
5. CURB SHALL NOT REST ON ROOF INSULATION.
6. ALL ROOFING WORK SHALL BE PERFORMED BY THE LANDLORD DESIGNATED ROOFING CONTRACTOR.
7. RESLOPE ROOFING TO PROVIDE ADEQUATE DRAINAGE.

**PIPE CHASE DETAIL**  
DTL34.DWG 06/26/98

# DETAILS



## NOTES:

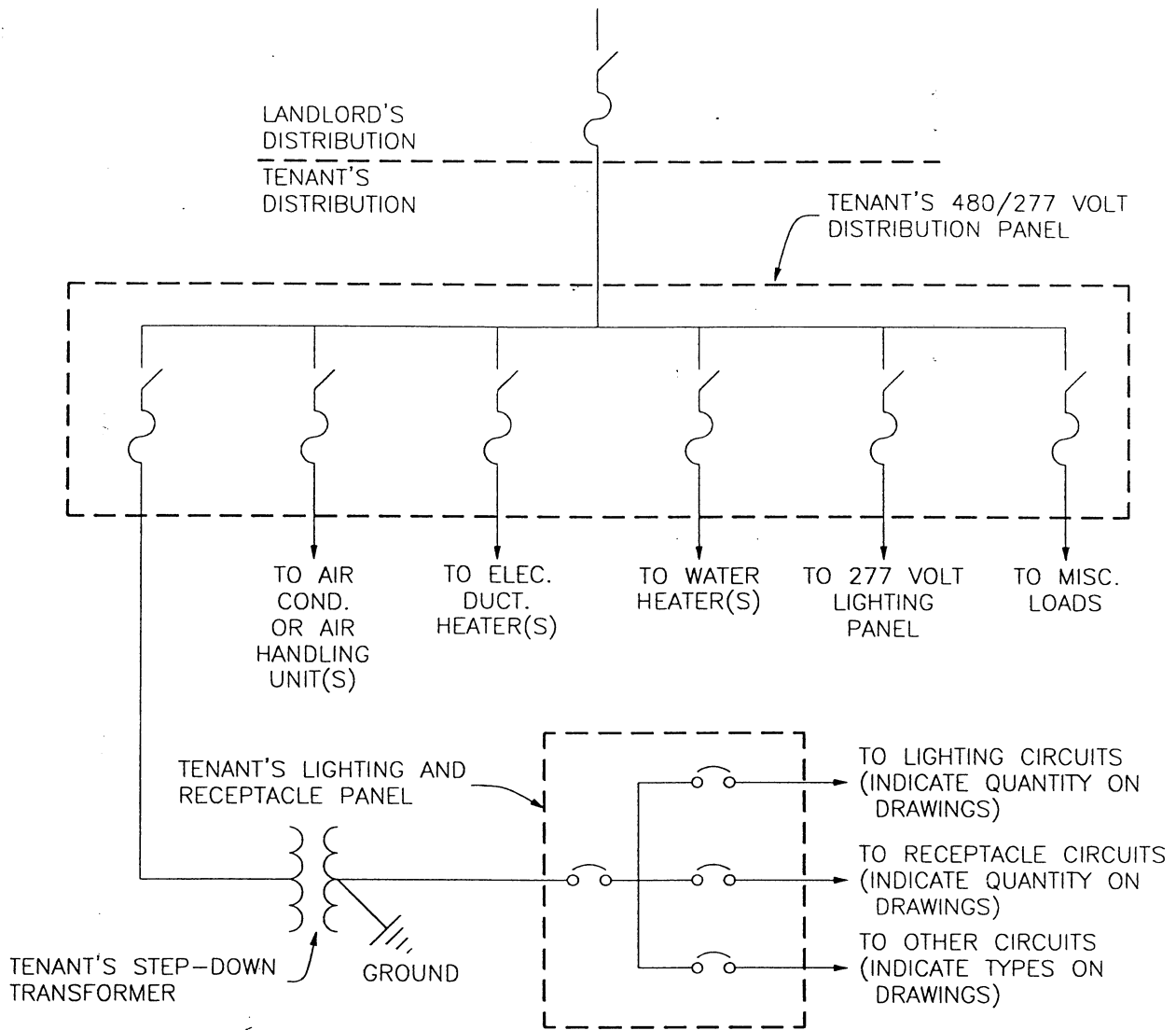
1. A GREASE GUARD GREASE CONTAINMENT SYSTEM SHALL BE INSTALLED FOR ALL KITCHEN EXHAUST SYSTEMS.
2. MINIMUM GREASE RECEPTOR SYSTEM PAD SIZE SHALL BE CALCULATED BY MULTIPLYING THE SIZE OF THE ROOF CURB BY A FACTOR OF TWO (2) AND ROUNDING UP TO THE NEAREST ONE (1) FOOT INTERVAL. MINIMUM SIZE SHALL NOT BE LESS THAN 48"X48".

## GREASE CONTAINMENT SYSTEM DETAIL

DTL16.DWG

06/26/98

# DETAILS



## NOTES:

1. INDICATE ALL WIRE, CONDUIT AND GROUND SIZES ON TENANT'S DRAWINGS.
2. INDICATE ALL SWITCH AND FUSE SIZES ON TENANT'S DRAWINGS.
3. INDICATE IF DISTRIBUTION IS COMPOSED OF TROUGH AND FUSED SWITCHES ON TENANT'S DRAWINGS.
4. INDICATE IF REQUIRED SWITCH OR CONDUIT EXCEEDS SIZE INDICATED IN LEASE ON TENANT'S DRAWINGS.
5. CONDUIT ONLY WILL BE PROVIDED BY THE LANDLORD TO A POINT WITHIN THE TENANT'S SPACE, NOT NECESSARILY TO THE TENANT'S DISTRIBUTION PANEL.
6. UTILIZE ONE MAIN SWITCH OR NOT MORE THAN SIX (6) MAIN DISCONNECTING MEANS AS PER CODE.

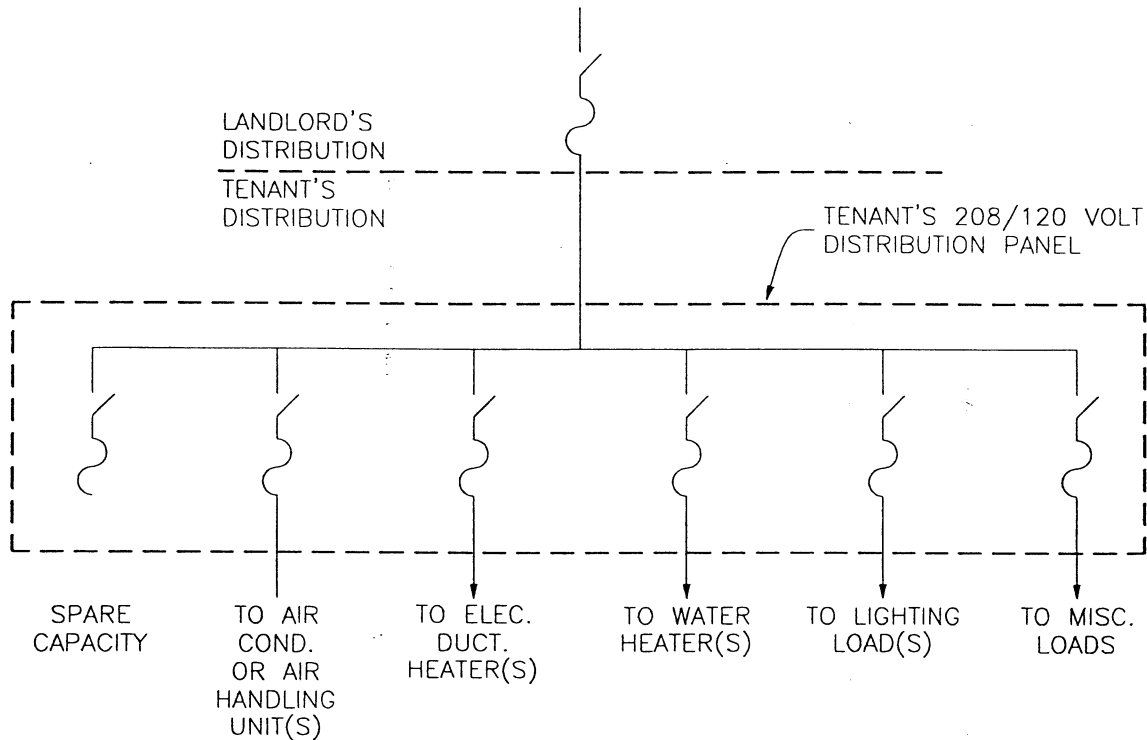
## TENANTS 480/277 VOLT ONE-LINE DIAGRAM

DTL22a.DWG

12/2/98



# DETAILS



## NOTES:

1. INDICATE ALL WIRE, CONDUIT AND GROUND SIZES ON TENANT'S DRAWINGS.
2. INDICATE ALL SWITCH AND FUSE SIZES ON TENANT'S DRAWINGS.
3. INDICATE IF DISTRIBUTION IS COMPOSED OF TROUGH AND FUSED SWITCHES ON TENANT'S DRAWINGS.
4. INDICATE IF REQUIRED SWITCH OR CONDUIT EXCEEDS SIZE INDICATED IN LEASE ON TENANT'S DRAWINGS.
5. CONDUIT ONLY WILL BE PROVIDED BY THE LANDLORD TO A POINT WITHIN THE TENANT'S SPACE, NOT NECESSARILY TO THE TENANT'S DISTRIBUTION PANEL.
6. UTILIZE ONE MAIN SWITCH OR NOT MORE THAN SIX (6) MAIN DISCONNECTING MEANS AS PER CODE.

## TENANTS 208/120 VOLT ONE-LINE DIAGRAM

DTL22b.DWG

12/2/98