

# TENANT DESIGN MANUAL



UPDATED FEBRUARY 2016



# PROJECT OVERVIEW



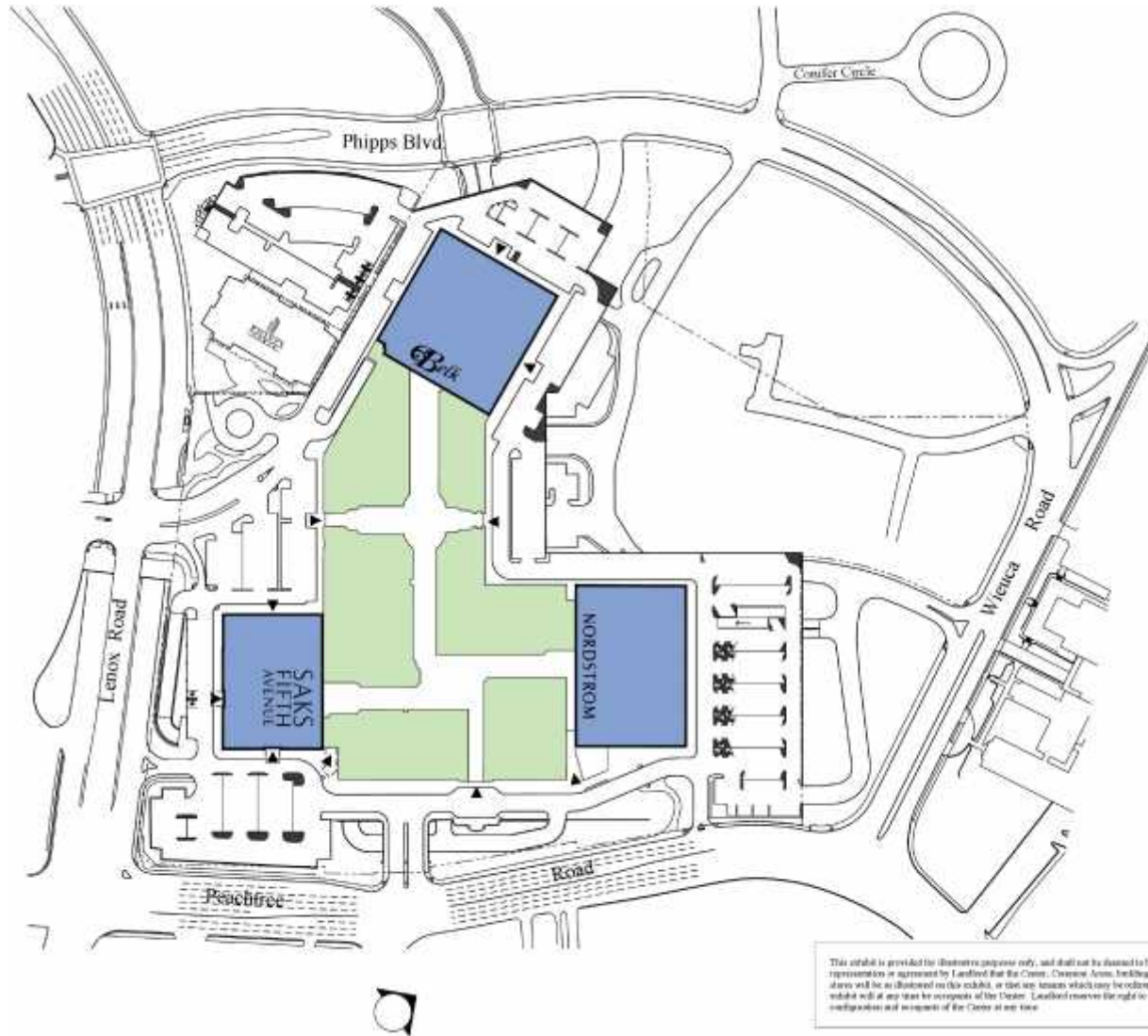
Phipps Plaza is located at the intersection of Peachtree and Lenox Roads, in the prestigious Buckhead area, just minutes from downtown Atlanta, near the convergence of I-75 and I-85. Phipps Plaza - Atlanta's first multilevel mall - continues to redefine its retail mix.

# PROJECT OVERVIEW



Convenient to all of Atlanta, the nation's ninth largest metro area, Phipps Plaza features Belk, Nordstrom, Saks Fifth Avenue, and an array of specialty shops, encompassing more than 810,000 SF of exciting retail.

# SITE PLAN



# TENANT INFORMATION PACKAGE

The **Tenant Information Package (TIP)** is intended to provide you with the project's design and construction criteria and consists of several parts:

COMPONENT	DESCRIPTION
TIP Index	Will provide a comprehensive list of topics to help locate information
Tenant Design Manual	Provide mall specific architectural, sign and engineering design criteria
Kiosk Design Manual	
Architectural Criteria	Outline submission requirements and will provide necessary guidelines to design your store.
MEP/FP Criteria	(same as Architectural Criteria)
Bulletins	

# TENANT INFORMATION PACKAGE

- The Tenant Information Package can be accessed from Simon’s website – [www.simon.com](http://www.simon.com).
  - » Select the “Business” tab, search for the property name, click on the “Tenant Info Package” link on the lower right side of the page.
  - » If you have difficulties working with the website, please contact your Tenant Coordinator.

\*For questions regarding the Landlord design and construction requirements, please contact your Tenant Coordinator or call 317-636-1600 and request Tenant Coordination.

# MALL BUILDING DATA

Occupancy/ Use:

Mercantile

Construction Classification:

Type IV

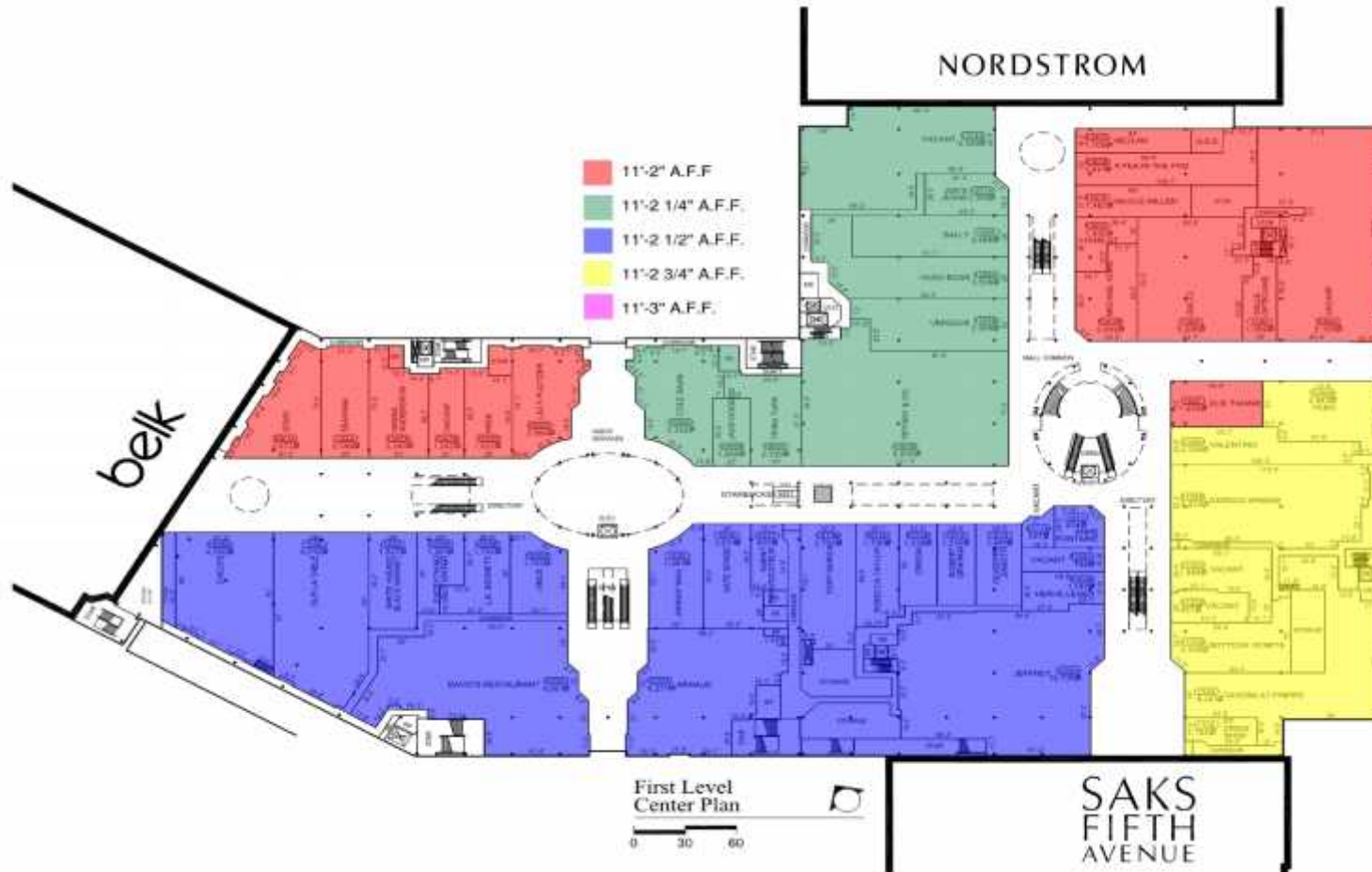
Building Levels:

Three (3) Levels

Sprinkler System:

Fully Sprinkled

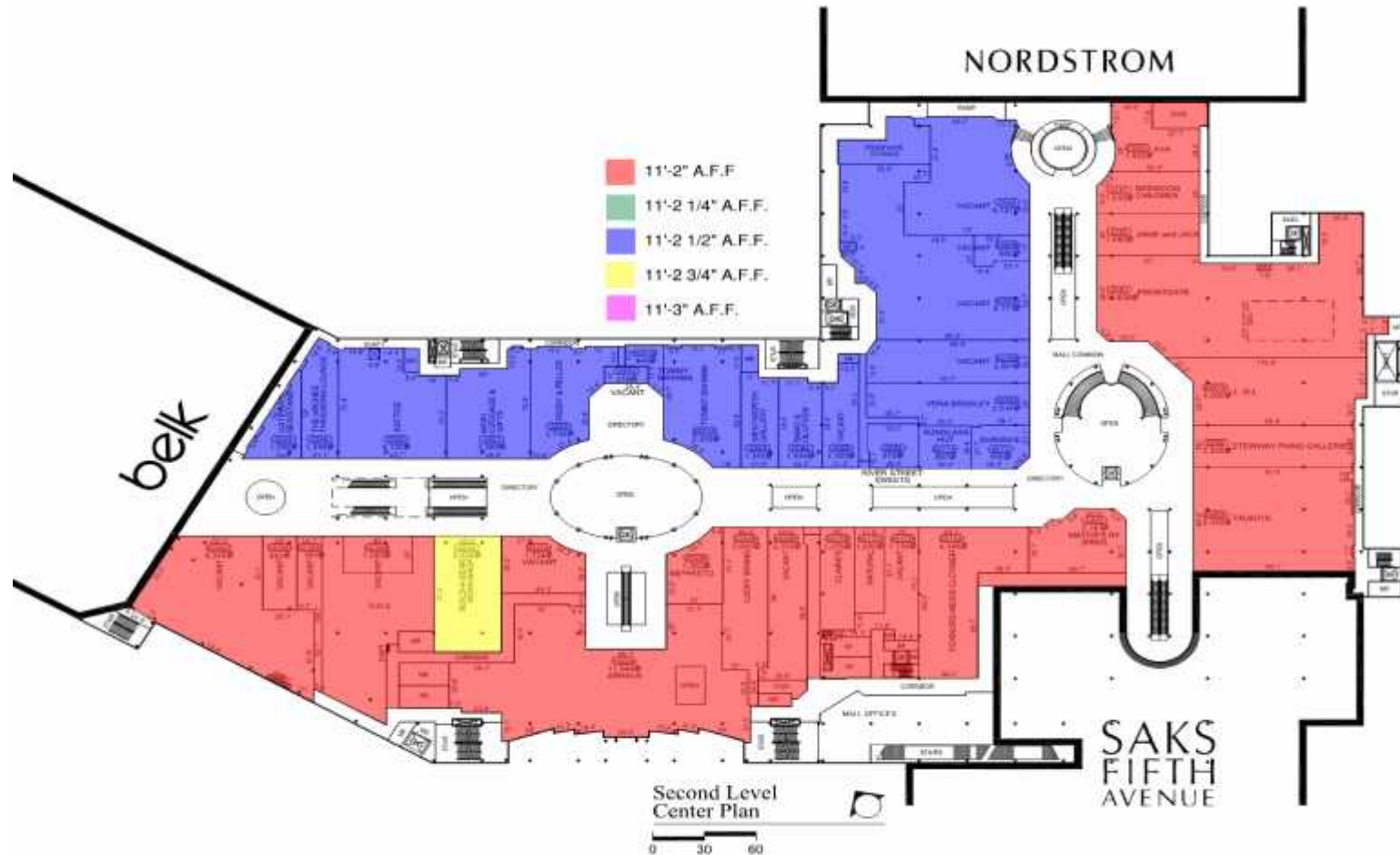
# STOREFRONT ELEVATION



Typical storefront heights range from 11'-2" A.F.F. to 11'-3" A.F.F. Please reference the applicable floor plan for clarification.

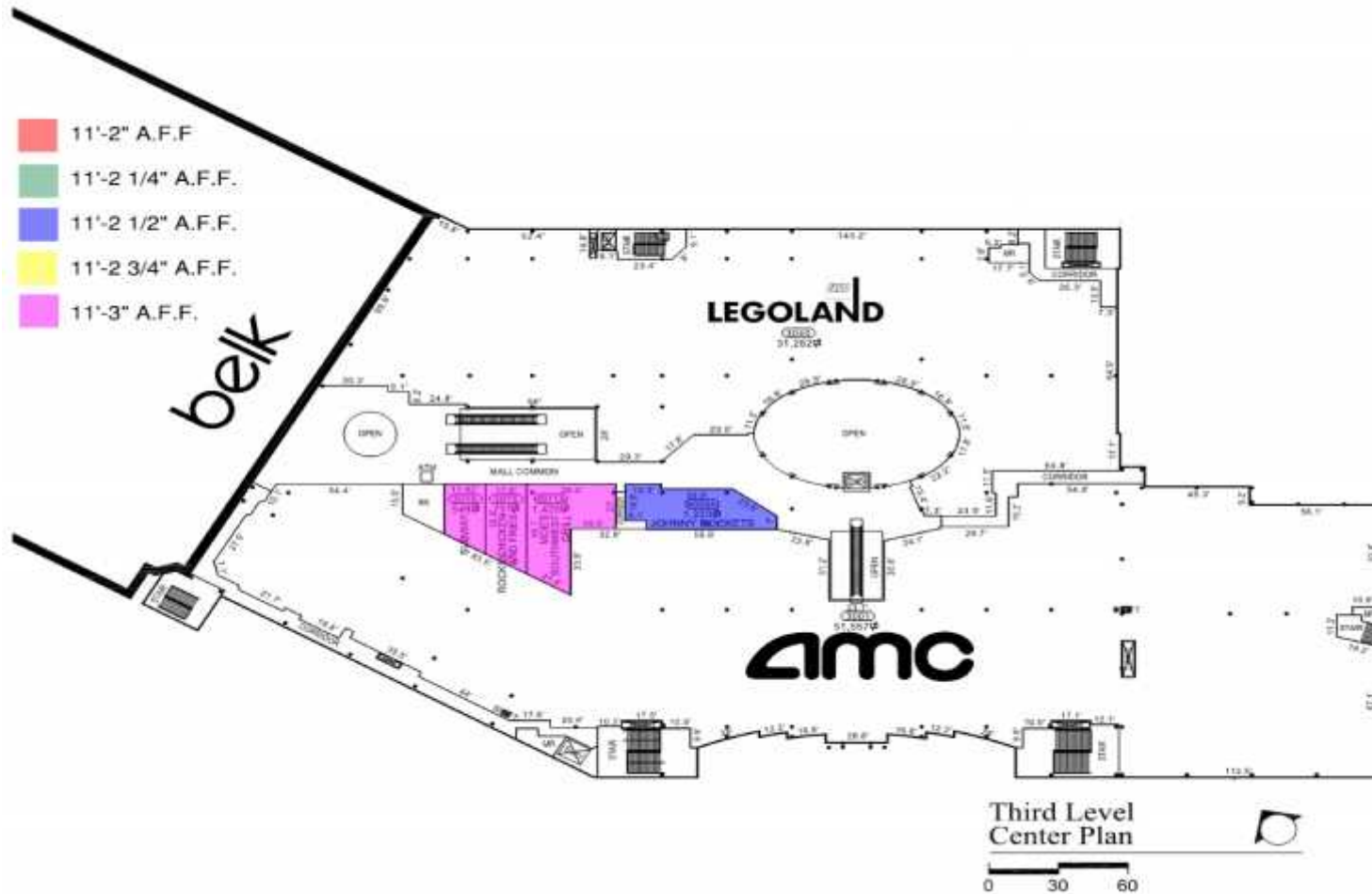


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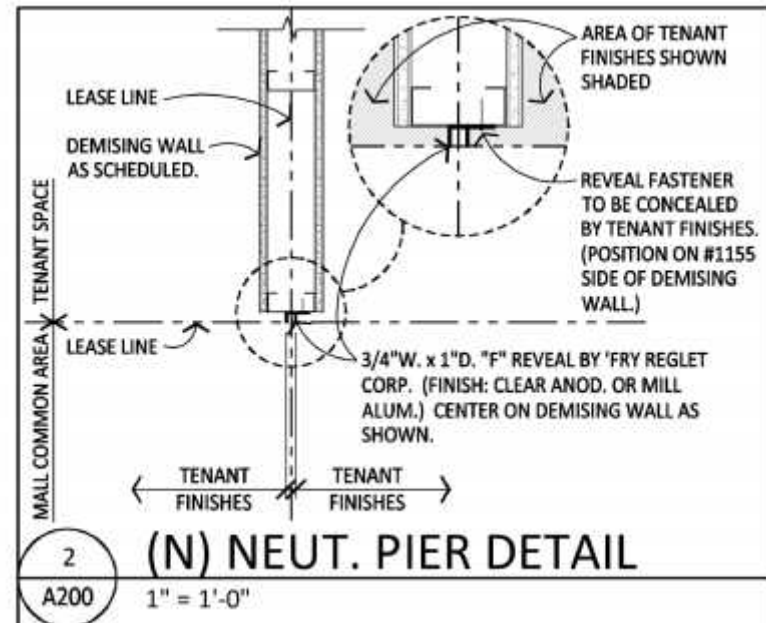
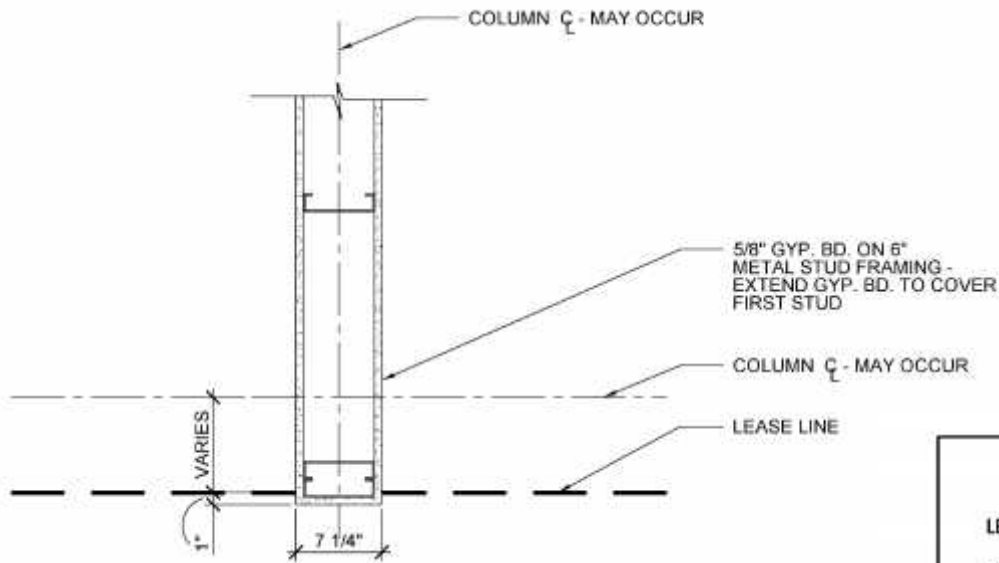
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# STOREFRONT ELEVATION AT SERVICE CORRIDORS



Neutral piers at service corridors are to be removed by Tenant and storefronts extended/ wrapped into corridor area. Corners should be glass or as transparent as possible.

# NEUTRAL PIER DETAIL



# STOREFRONT SIGNS, AWNINGS, & CANOPIES



# EXTERIOR FACING TENANTS



## Patio Rails and Overhead Enclosures

Tenants who are permitted an outdoor patio in the lease may design and install a perimeter enclosure, subject to Landlord approval. Rails and enclosures shall be self-supporting (not attached to Landlord's facade) and shall be integrated with the tenant's exterior expression. Rails and enclosures shall meet all applicable jurisdictional requirements and supports must be surface mounted to the Landlord's concrete sidewalk within the zone identified on the TSD for rails and overhead structures. **Systems shall not utilize a cantilever support. the columns along the continuous footing (the rail and overhead structure zone) shall be limited to 10'-0" o.c. maximum which is about 75 sf of tributary area of canopy for each column.** All concrete fasteners must be concealed and alteration of Landlord's concrete sidewalk is not permitted.

Horizontal rail picket design is preferred but a vertical picket design will be considered provided that it is of a high design caliber. Overhead structures must also display a design consistent with a high end center and compliment the aesthetic of the overall facade exterior and when used, design of overhead structure must be fully integrated with the rail system. Transparency through the Tenant's enclosure is important - a solid full height railing system is not permitted.

# EXTERIOR FACING TENANTS



## **Permissible materials:**

- Glass panels
- Stainless steel posts, cables and rails
- Wood posts and rails
- Painted metal posts and rails (fully welded construction - no exposed fasteners)
- Canvas for overhead canopy only - provided that the profile, massing and detailing are of a high caliber of design
- Louvered roof system, including vertical enclosure walls, SIMILAR TO AN ARCADIA LOUVERED ROOF SYSTEM

## **Not Permitted:**

- Wrought iron
- Roll down canvas and plastic enclosures for the vertical enclosure
- Signage on rails or enclosures
- Temporary structures

# EXTERIOR FACING TENANTS



## **Heaters, Lighting and Ceiling Fans**

Tenants may install natural gas heaters, exterior lighting and ceiling fans that are rated for outdoor use, are permanently installed, and are designed to be fully integrated into the character of the tenant's exterior presentation. No items may be supported from Landlord's walls, all conduit and piping must be concealed from public view, and mobile propane heating units are not allowed. Exterior fire features may be proposed and are subject to the requirements of this section and Landlord's approval.

## **Outdoor Furnishings, INCLUDING PLANTERS**

Tenant's are encouraged to select outdoor furnishings that enhance the guest experience of their facility and compliment the overall look of the center. Pieces must be commercially rated, comply with all local jurisdictional requirements, and are subject to Landlord's approval. All pieces must be located within the tenant's patio area described in the lease documents. PLANTERS ARE LIMITED TO 500 LB MAXIMUM PER PLANTER FULLY LOADED, 3'-0" O.C., AND SHALL BE LOCATED ENTIRELY WITHIN THE RAIL/OVERHEAD STRUCTURE ZONE.



# EXTERIOR FACING TENANTS



## Exterior Facades and Signage

Tenants whose demised space includes an exterior wall are permitted to finish the wall within the limits allowed by the Landlord in a manner that expresses the tenant's brand and identity. Tenants with exterior facades shall employ their most sophisticated exterior facade design suitable for use at a high end luxury center. Care shall be taken to terminate tenant finishes where they abut with adjacent tenants or Landlord facade finishes. Signage shall be fully integrated into the tenant's facade design and shall comply with all local jurisdiction requirements. Maximum allowable sign area shall be according to the Landlord's sign diagram and shall be limited to the Tenant's dba name.

## Exterior Window Display along Peachtree Road for Retail Tenants

Tenants whose demised spaces include exterior windows that face Peachtree Road are encouraged to creatively design the interior of the space in a sophisticated manner to reinforce their brand, is visible from the exterior, and is code compliant. Creating an illusion of occupied retail sales space is desired so the design of such spaces fronting this facade should look and feel as if there was retail activity behind the glass. Product display, architecture, lighting, etc. can all be employed to contribute to this illusion which further activates the overall facade along Peachtree. Where visible display inside the space is not desired by a Tenant, a semi-translucent decorative patterned film may be installed on the inside face of glass with back lighting to create a facade finish utilizing the glazed area. Advertising on the window is not permitted.





**SIMON**<sup>SM</sup>